

**The Corporation of the Township of Centre Wellington
By-law 2022-xx**

A By-law to amend the Township of Centre Wellington Zoning By-law 2009-045, as amended, to change the zoning of certain lands from “Highway Commercial (Holding) (C2(H))” to “Highway Commercial (Holding) Site Specific Exception Zone (C2(H).XX)”.

Whereas the Council of the Corporation of the Township of Centre Wellington deems it desirable to amend By-law No. 2009-045, as amended, pursuant to Section 34 of the Planning Act, R.S.O. 1990;

Now therefore the Council of the Township of Centre Wellington hereby enacts as follows:

1. Schedule “A” Map 49 to By-law No. 2009-045 is hereby amended in accordance with the attached Schedule “A” which forms part of this by-law.
2. Section 15 of By-law No. 2009-045, as amended, is hereby further amended by adding the following Exception:

15.XX	C2(H).XX	<p>Notwithstanding any other provision of this by-law to the contrary, on lands zoned C2(H).XX, a townhouse development containing 273 townhouse dwellings is permitted, subject to the following special provisions:</p> <p>a) The following uses shall be permitted in addition to the uses permitted under the C2 Zone:</p> <ul style="list-style-type: none"> i) Cluster townhouse ii) Back-to-back townhouse iii) Live-work townhouse unit at-grade and above a live-work unit iv) Apartment building v) Retirement residence vi) Retirement community residential vii) Nursing home <p>b) The maximum permitted building height is:</p> <ul style="list-style-type: none"> i) Townhouses: 4 storeys ii) Apartment Buildings: 8 storeys provided that a 45 degree angular plane is met when taken from the residential lots on the east side of Wellington Road 7; <p>c) For the purposes of this site specific exception, Section 10.3.4(e) does not apply provided that each live-work townhouse dwelling provides a minimum of 8.0 m² of non-residential commercial floor area with direct building access onto Wellington Road 7;</p> <p>d) The minimum rear yard setback shall be 4.9 metres;</p>
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		<p>e) The number of residential units may be increased to 317 for any proposal that includes an apartment building;</p> <p>f) Notwithstanding any severance, partition, or division of lands shown on Schedule "A" which forms part of this by-law, the provisions of this By-law shall apply to the whole of the lot as if no severance, partition or division had occurred.</p>
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3. All other applicable provisions of By-law No. 2009-045 shall continue to apply to the lands affected by this amendment.
4. This by-law shall come into effect on the date of final enactment by the Council pursuant to Section 34 of the Planning Act, R.S.O., 1990.

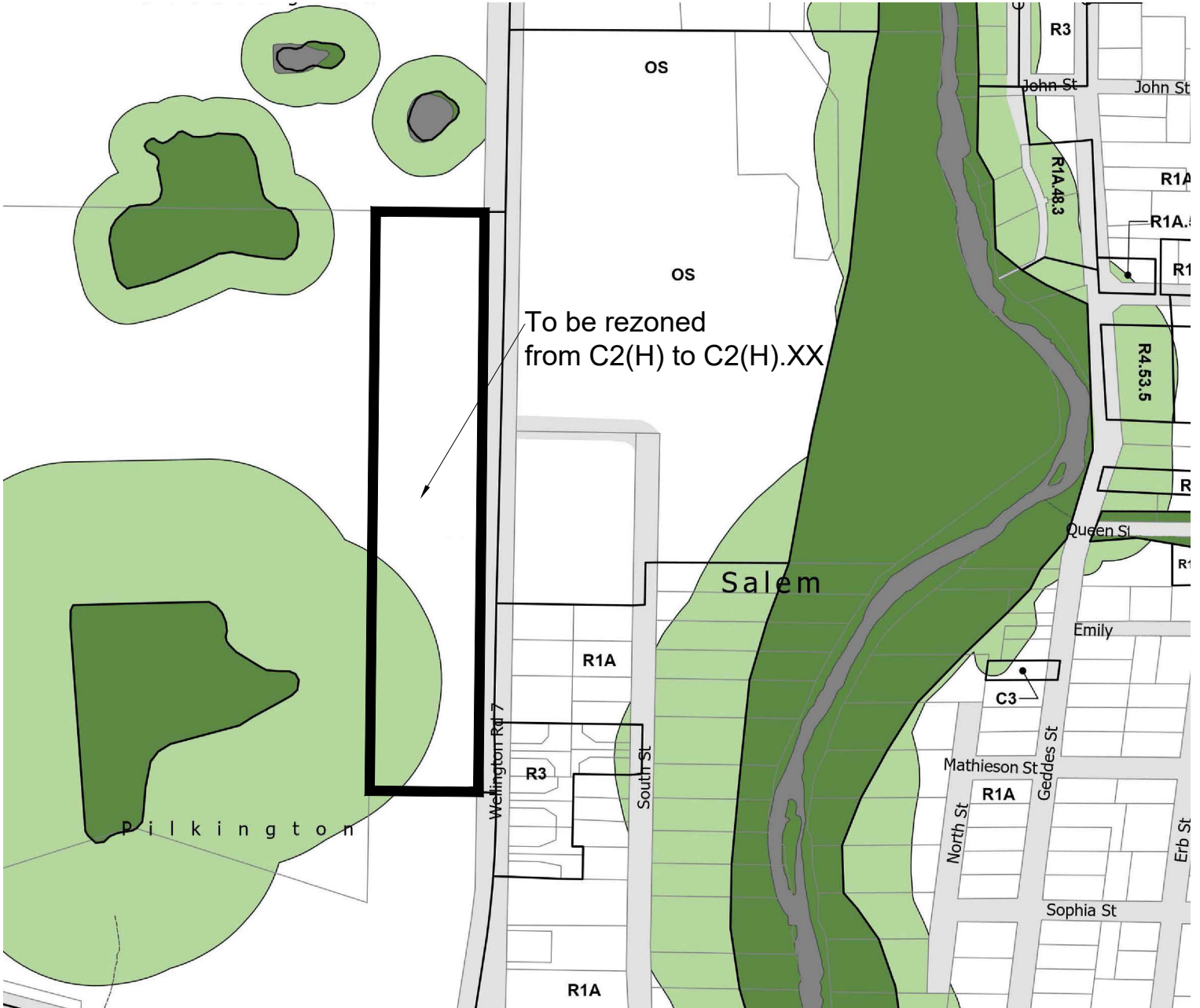
Read a first, second and third time and finally passed this X day of [Month], 2022.

 Mayor – Kelly Linton

 Municipal Clerk – Kerri O’Kane

Township of Centre Wellington Schedule 'A' By-Law 2022-xx

An Amendment to Township of Centre Wellington
Zoning By-Law No. 2009-045 as amended



This is Schedule 'A' to By-Law 2022-xx passed on XX day of XX,20XX.

Mayor- Kelly Linton

Municipal Clerk- Kerri O'Kane